



DEVELOPMENT APPLICATION

AGED CARE FACILITY

Oxford Falls

Barnes Road

Frenchs Forest, NSW

DRAWING LIST

DWG.NO.	DRAWING	SCALE	REVISION
GENERAL			
DA0.00	COVER SHEET	NTS @ A3	A
DA0.01	DATASHEET	NTS @ A3	A
DA0.02	SURVEY	NTS @ A3	A
SITE ANALYSIS			
DA1.01	LOCATION PLAN	NTS @ A3	A
DA1.02	SITE PLAN	NTS @ A3	A
DA1.03	SITE ANALYSIS	NTS @ A3	A
FLOOR PLANS			
DA2.01	LEVEL 93	1:400 @ A3	A
DA2.02	LEVEL 96	1:400 @ A3	A
DA2.03	LEVEL 99	1:400 @ A3	A
DA2.04	LEVEL 102	1:400 @ A3	A
DA2.05	LEVEL 105	1:400 @ A3	A
DA2.06	LEVEL 108	1:400 @ A3	A
DA2.07	LEVEL 111	1:400 @ A3	A
ELEVATIONS			
DA3.01	ELEVATION NORTH WEST	1:400 @ A3	A
DA3.02	ELEVATION NORTH EAST	1:400 @ A3	A
DA3.03	ELEVATION SOUTH EAST	1:400 @ A3	A
SECTIONS			
DA4.01	SECTION 1	1:400 @ A3	A
DA4.02	SECTION 2	1:400 @ A3	A
DA4.03	SECTION 3	1:400 @ A3	A
DA4.10	HEIGHT BUILDING 2	1:400 @ A3	A
DA4.11	HEIGHT BUILDING 3&4	1:400 @ A3	A
DA4.12	HEIGHT BUILDING 5&6	1:400 @ A3	A
SHADOW STUDY			
DA5.01	SHADOW STUDY 21 JUNE 09-10	NTS @ A3	A
DA5.02	SHADOW STUDY 21 JUNE 11-01	NTS @ A3	A
DA5.03	SHADOW STUDY 21 JUNE 02-03	NTS @ A3	A
PHOTOMONTAGE & MATERIALS			
DA7.01	PHOTOMONTAGE 1	NTS @ A3	A
DA7.02	PHOTOMONTAGE 2	NTS @ A3	A
DA7.03	PHOTOMONTAGE 3	NTS @ A3	A
DA7.04	PHOTOMONTAGE 4	NTS @ A3	A
DA7.05	MATERIAL BOARD	NTS @ A3	A

GENERAL:	
site area:	33,853 sqm
TOTAL RESIDENTIAL UNITS:	
units:	45
CAR PARKING:	
Resident spaces:	20
Employee spaces:	5
Visitor spaces:	5
Accessible spaces	3
TOTAL:	30
SITE COVERAGE:	
site coverage:	4,030 sqm = 12 %



FALLS ESTATE, FRENCH FOREST, APARTEMENT SIZE & MIX DEVELOPMENT DATA, ISSUE 140723

Note: The Apartment Numbering System has been organized by getting out of the lift in each level and starting counting the fist apartment on the left inside and proceeding with the counting clockwise through the floor plan

Entrance building			
Service	NSA		Level
reception	35 sqm		105.5
lobby	75 sqm		105.5
lounge	60 sqm		105.5
coffee corner	20 sqm		105.5
main dining area	150 sqm		105.5
multi media area	20 sqm		105.5
back office	40 sqm		105.5
	400 sqm	480 sqm	

Building 1			
Service	NSA		Level
chapel	45 sqm		105.5
shop	25 sqm		105.5
hairdresser	25 sqm		105.5
games room	135 sqm		105.5
	230 sqm	276 sqm	

Building 2			
Service	NSA		Level
delivery	20 sqm		105.5
kitchen	90 sqm		105.5
services	90 sqm		105.5
personel area	40 sqm		105.5
	240 sqm	288 sqm	

Apartment	NSA	GFA	Level
1 2 1.01 nursery	130 sqm		109.5
2 2 1.02	45 sqm		109.5
3 2 1.03	45 sqm		109.5
4 2 1.04	45 sqm		109.5
5 2 1.05	30 sqm		109.5
6 2 1.06	30 sqm		109.5
living	40 sqm		109.5
	365 sqm	438 sqm	

6	Total:	605 sqm	726 sqm
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Building 3			
Service	NSA		Level
cinema	140 sqm	168 sqm	98.5

Apartment	NSA	GFA	Level
7 3 1.01	80 sqm		98.5
8 3 1.02	80 sqm		98.5
living	40 sqm		98.5
	200 sqm	240 sqm	

9	3 2.01	80 sqm	101.5
10	3 2.02	80 sqm	101.5
11	3 2.03	80 sqm	101.5
12	3 2.04	80 sqm	101.5
	living	40 sqm	101.5
	360 sqm	432 sqm	

13	3 3.01	80 sqm	104.5
14	3 3.02	80 sqm	104.5
	living	50 sqm	104.5
	210 sqm	252 sqm	

8	Total:	910 sqm	1092 sqm
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Building 4			
Apartment	NSA	GFA	Level
15 4 1.01	80 sqm		91.5
16 4 1.02	80 sqm		91.5
17 4 1.03	80 sqm		91.5
18 4 1.04	80 sqm		91.5
19 4 1.05	40 sqm		91.5
living	90 sqm		91.5
	450 sqm	540 sqm	

20	4 2.01	80 sqm	94.5
21	4 2.02	80 sqm	94.5
22	4 2.03	80 sqm	94.5
23	4 2.04	80 sqm	94.5
24	4 2.05	80 sqm	94.5
25	4 2.06	80 sqm	94.5
living	90 sqm		94.5
	570 sqm	684 sqm	

26	4 3.01	80 sqm	97.5
27	4 3.02	80 sqm	97.5
28	4 3.03	80 sqm	97.5
living	100 sqm		97.5
	340 sqm	408 sqm	

14	Total:	1,405 sqm	1686 sqm
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Building 5			
Service	NSA		Level
dining area	370 sqm	444 sqm	94.5

Apartment	NSA	GFA	Level
29 5 1.01	50 sqm		91.5
30 5 1.02	80 sqm		91.5
31 5 1.03	80 sqm		91.5
living	40 sqm		91.5
	250 sqm	300 sqm	

32	5 2.01	80 sqm	94.5
33	5 2.02	80 sqm	94.5
34	5 2.03	80 sqm	94.5
35	5 2.04	120 sqm	94.5
living	40 sqm		94.5
	400 sqm	480 sqm	

36	5 3.01	80 sqm	97.5
37	5 3.02	120 sqm	97.5
living	50 sqm		97.5
	250 sqm	300 sqm	

9	Total:	1,270 sqm	1524 sqm
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Building 6			
Service	NSA		Level
pool	150 sqm		98.5
spa	30 sqm		98.5
gym	75 sqm		98.5
changing room	30 sqm		98.5
	285 sqm	342 sqm	

Apartment	NSA	GFA	Level
38 6 1.01	65 sqm		98.5
39 6 1.02	40 sqm		98.5
living	30 sqm		98.5
	135 sqm	162 sqm	

40	6 2.01	80 sqm	101.5
41	6 2.02	80 sqm	101.5
42	6 2.03	80 sqm	101.5
43	6 2.04	80 sqm	101.5
living	40 sqm		101.5
	360 sqm	432 sqm	

44	6 3.01	80 sqm	104.5
45	6 3.02	80 sqm	104.5
living	50 sqm		104.5
	210 sqm	252 sqm	

8	Total:	990 sqm	1188 sqm
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Summary			
	NSA	GFA	GBA
facility & services	1,665 sqm	1,998 sqm	
apartments	45	4,100 sqm	4,920 sqm
Total:	5,765 sqm	6,918 sqm	7,580 sqm

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A	15.08.2014	DA Application Package	BO



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CLIENT

DuKor 24 Pty Ltd

PROJECT  
Oxford Falls - Aged Care Facility  
Barnes Road  
Frenchs Forest

DRAWING TITLE

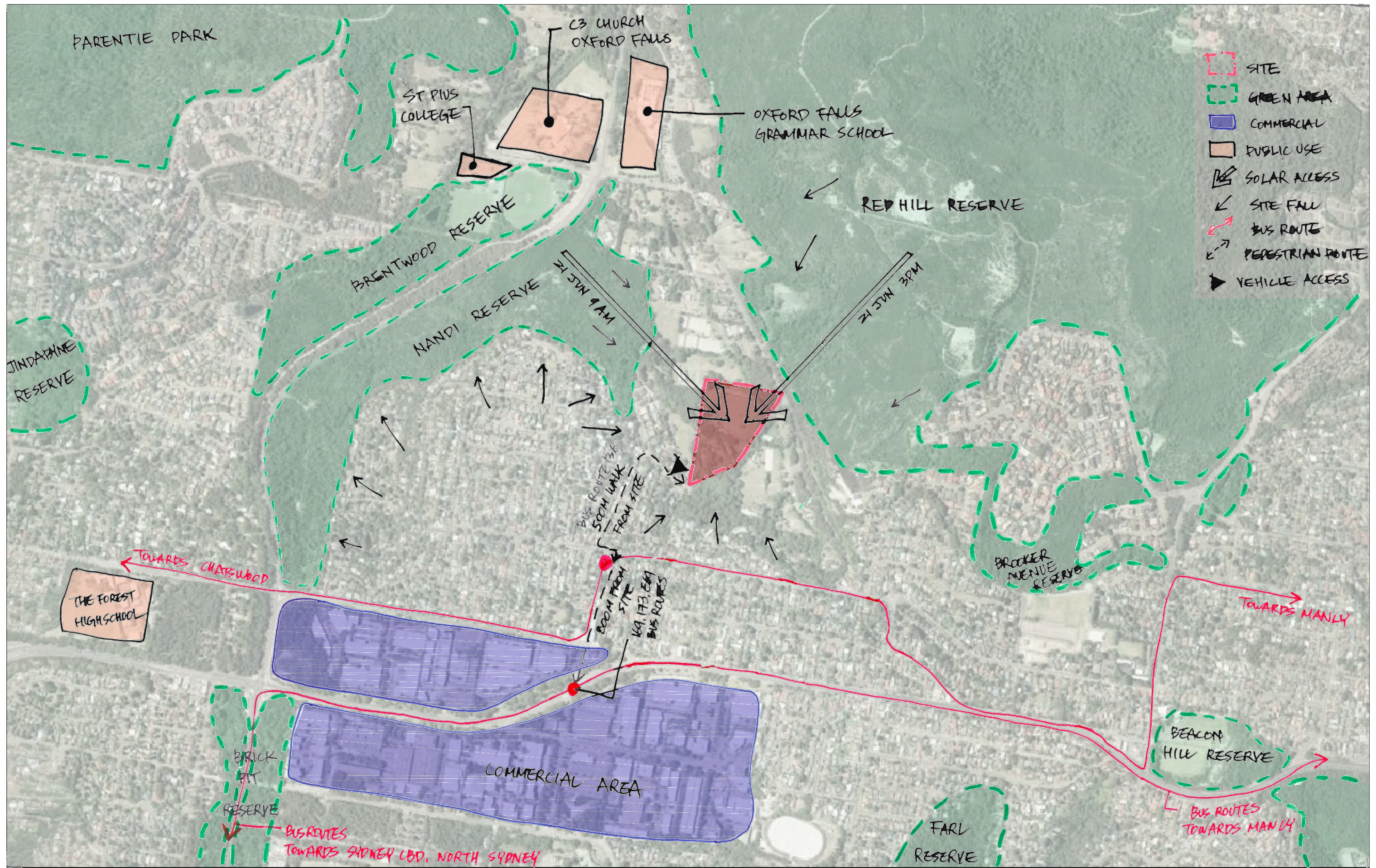
DATASHEET

SCALE	DATE	DRAWN	CHECKED
	20.06.2014	BO	PS
JOB	DRAWING	REVISION	
14048	DA 0.01	A	



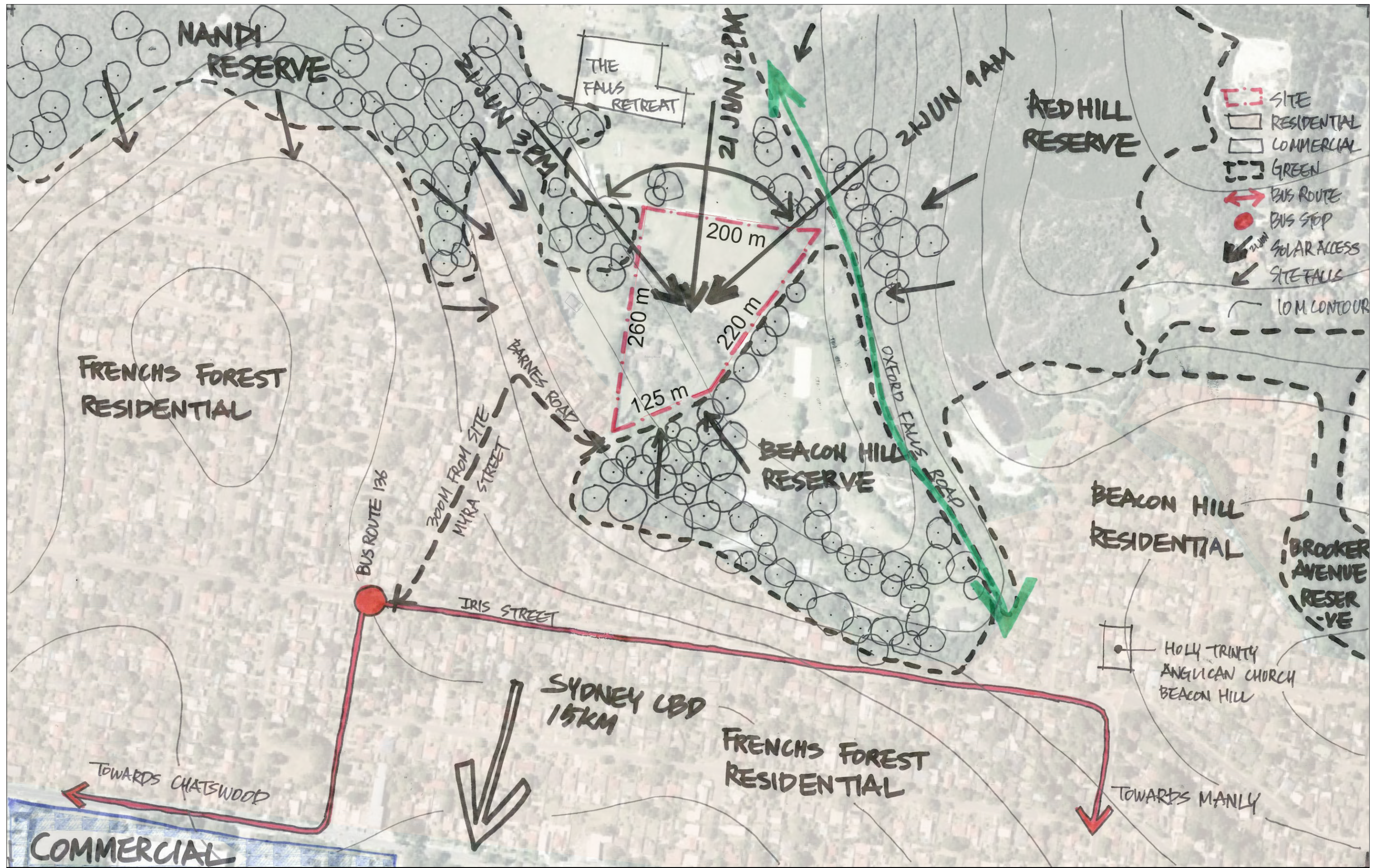






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	A	15.08.2014	DA Application Package	BO			DuKor 24 Pty Ltd		SITE ANALYSIS			
							PROJECT		SCALE		DATE	DRAWN
				Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest		JOB		DRAWING		REVISION		
						14048		DA 1.01		A		



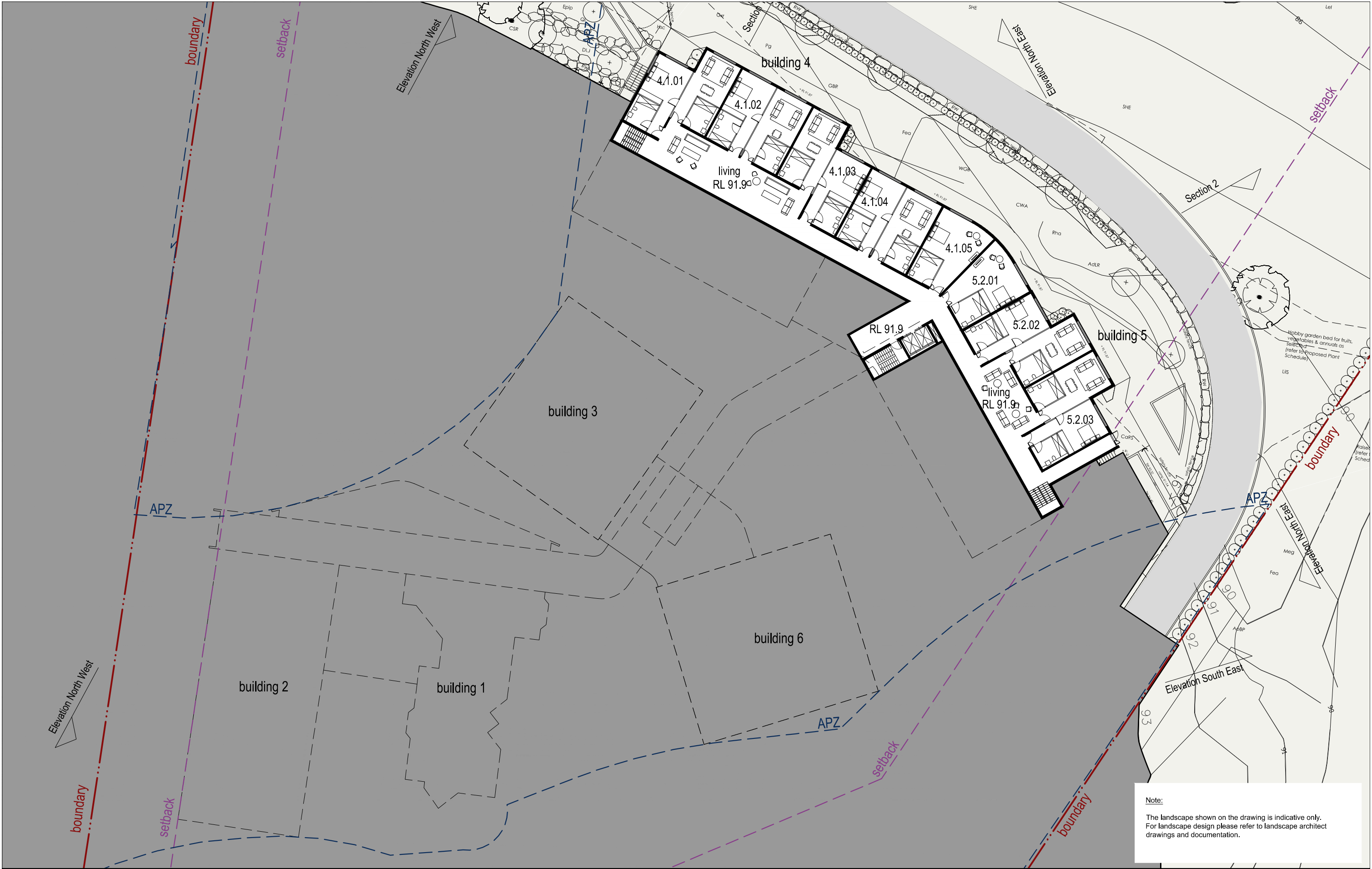


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		PROJECT Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest		DRAWING TITLE SITE ANALYSIS 02	
		JOB 14048	DATE 20.06.2014	DRAWN BO	CHECKED PS
		DRAWING DA 1.02		REVISION A	









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CLIENT		DRAWING TITLE	
DuKor 24 Pty Ltd		LEVEL 93	
PROJECT		SCALE	DATE
Oxford Falls - Aged Care Facility		1:400 @ A3	20.06.2014
Barnes Road		DRAWN	CHECKED
Frenchs Forest		BO	PS
JOB	DRAWING	REVISION	
14048	DA 2.01	A	





**Note:**

The landscape shown on the drawing is indicative only.  
For landscape design please refer to landscape architect  
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PROJECT	
Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest	

DRAWING TITLE			
LEVEL 96			

SCALE	DATE	DRAWN	CHECKED
1:400 @ A3	20.06.2014	BO	PS

JOB	DRAWING	REVISION
14048	DA 2.02	A





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PROJECT  
**Oxford Falls - Aged Care Facility  
Barnes Road  
Frenchs Forest**

DRAWING TITLE			
<b>LEVEL 99</b>			
SCALE 1:400 @ A3	DATE 20.06.2014	DRAWN BO	CHECKED PS
JOB 14048	DRAWING DA 2.03		REVISION A





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**Oxford Falls - Aged Care Facility  
Barnes Road  
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DRAWING TITLE <b>LEVEL 102</b>			
SCALE 1:400 @ A3	DATE 20.06.2014	DRAWN BO	CHECKED PS
JOB 14048	DRAWING DA 2.04		REVISION A





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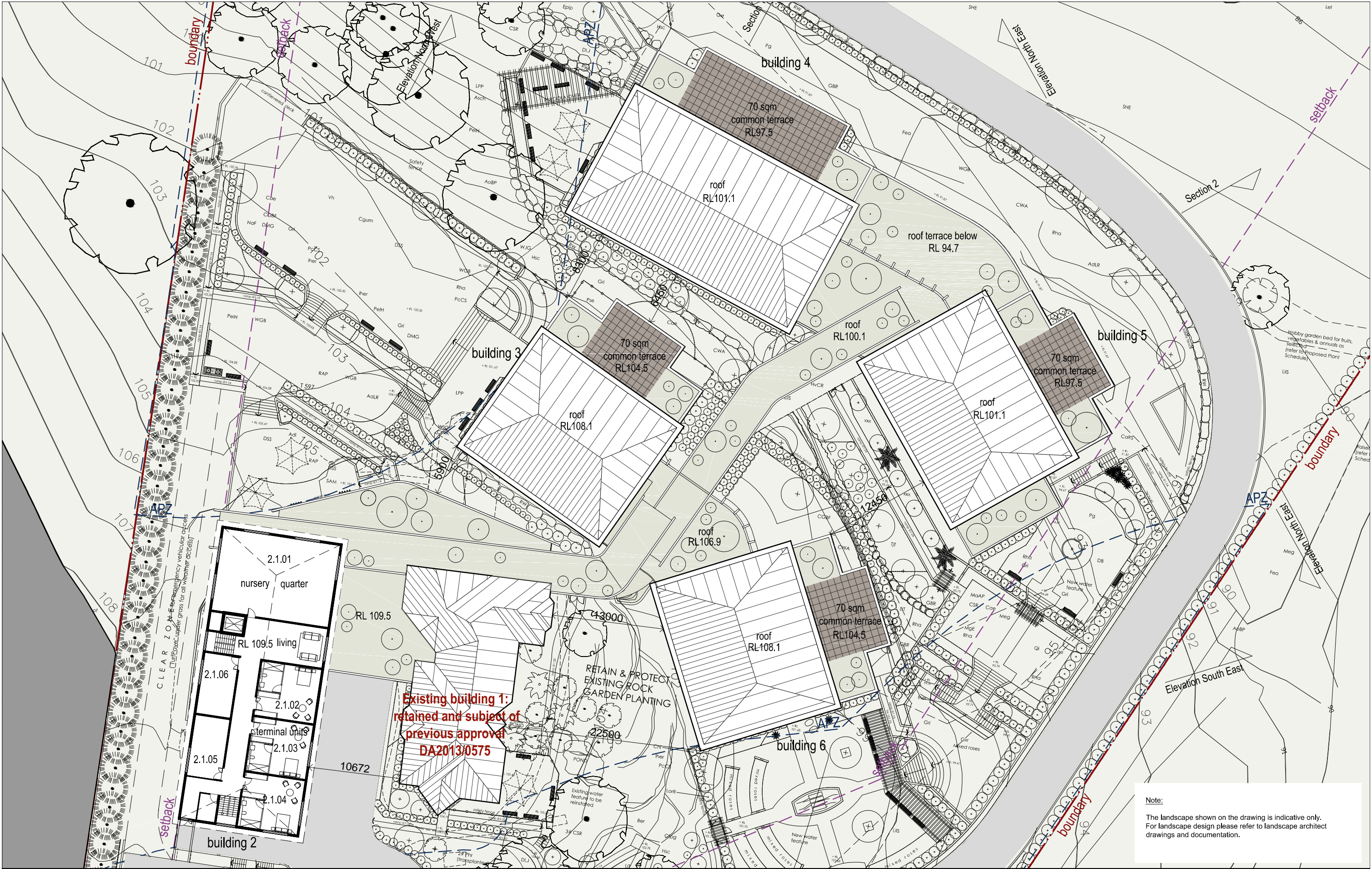


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**Oxford Falls - Aged Care Facility  
Barnes Road  
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DRAWING TITLE <b>LEVEL 105</b>			
SCALE 1:400 @ A3	DATE 20.06.2014	DRAWN BO	CHECKED PS
JOB 14048	DRAWING DA 2.05		REVISION A





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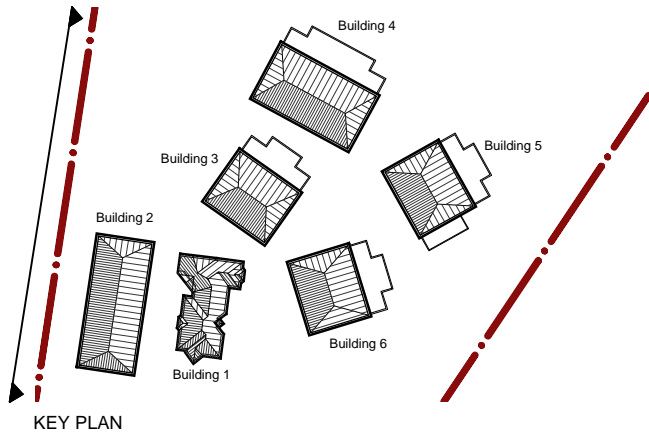
PROJECT  
**Oxford Falls - Aged Care Facility**  
**Barnes Road**  
**Frenchs Forest**

DRAWING TITLE			
<b>LEVEL 108</b>			
SCALE 1:400 @ A3	DATE 20.06.2014	DRAWN BO	CHECKED PS
JOB 14048	DRAWING DA 2.06	REVISION A	







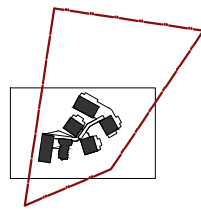


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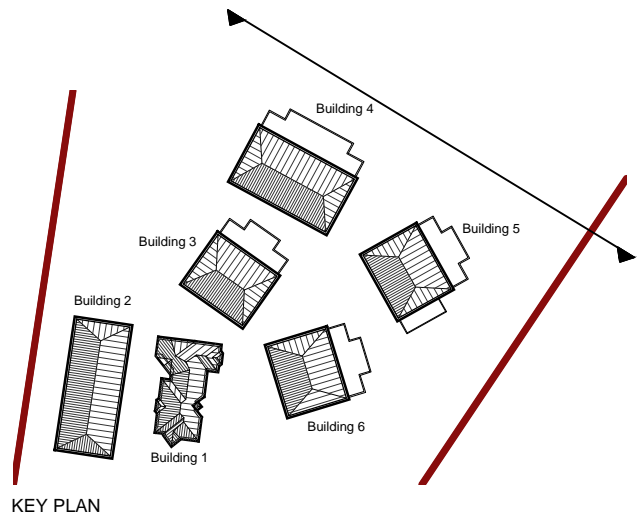


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CLIENT		DRAWING TITLE			
DuKor 24 Pty Ltd		ELEVATION NORTH WEST			
PROJECT		SCALE	DATE	DRAWN	CHECKED
Oxford Falls - Aged Care Facility		1:400 @ A3	20.06.2014	BO	PS
JOB		DRAWING		REVISION	
14048		DA 3.01		A	





KEY PLAN

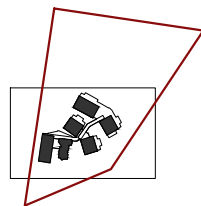


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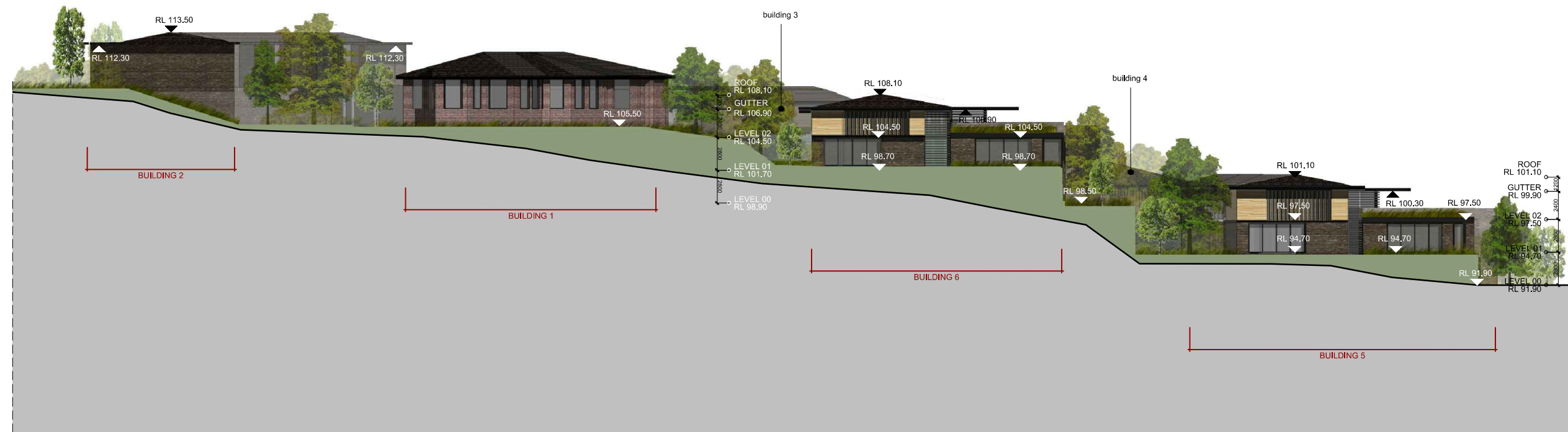
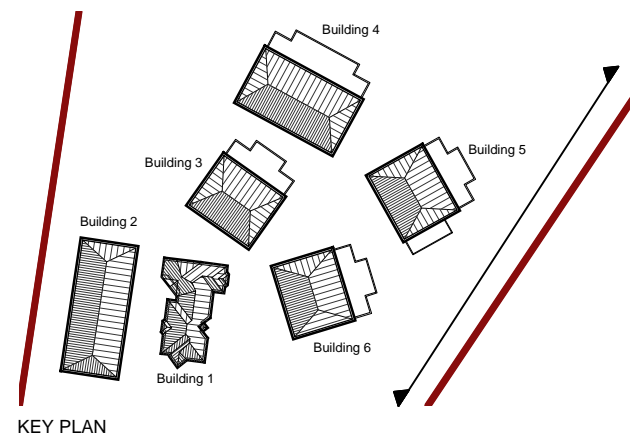
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**DuKor 24 Pty Ltd**

PROJECT  
**Oxford Falls - Aged Care Facility  
Barnes Road  
Frenchs Forest**

DRAWING TITLE  
**ELEVATION NORTH EAST**

SCALE 1:400 @ A3	DATE 20.06.2014	DRAWN BO	CHECKED PS
JOB 14048	DRAWING DA 3.02	REVISION A	

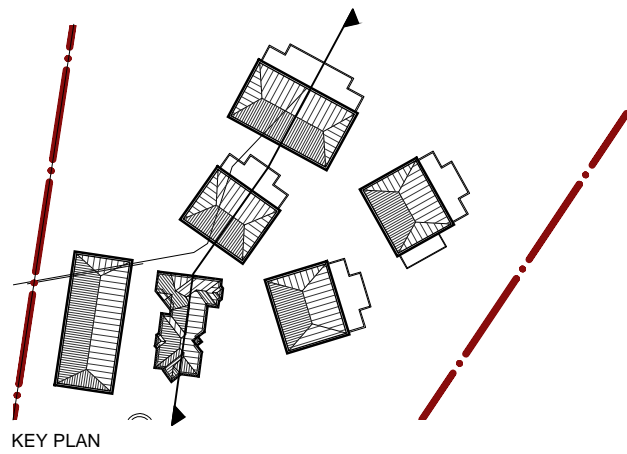




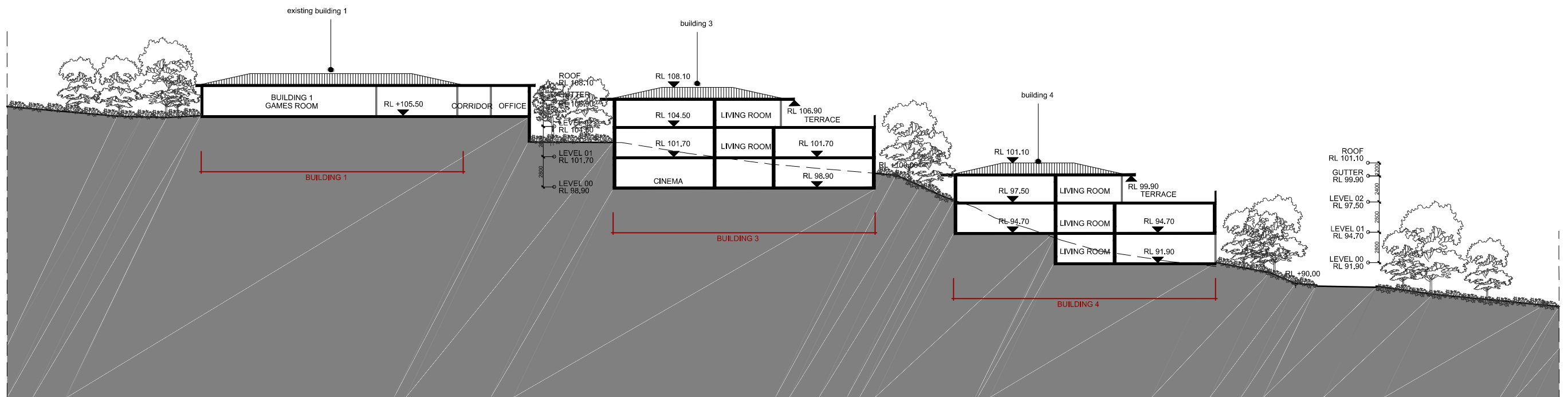
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	CLIENT  DuKor 24 Pty Ltd				
	PROJECT  Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest				
DRAWING TITLE  ELEVATION SOUTH EAST		SCALE 1:400 @ A3	DATE 20.06.2014	DRAWN BO	CHECKED PS
JOB 14048		DRAWING DA 3.03		REVISION A	



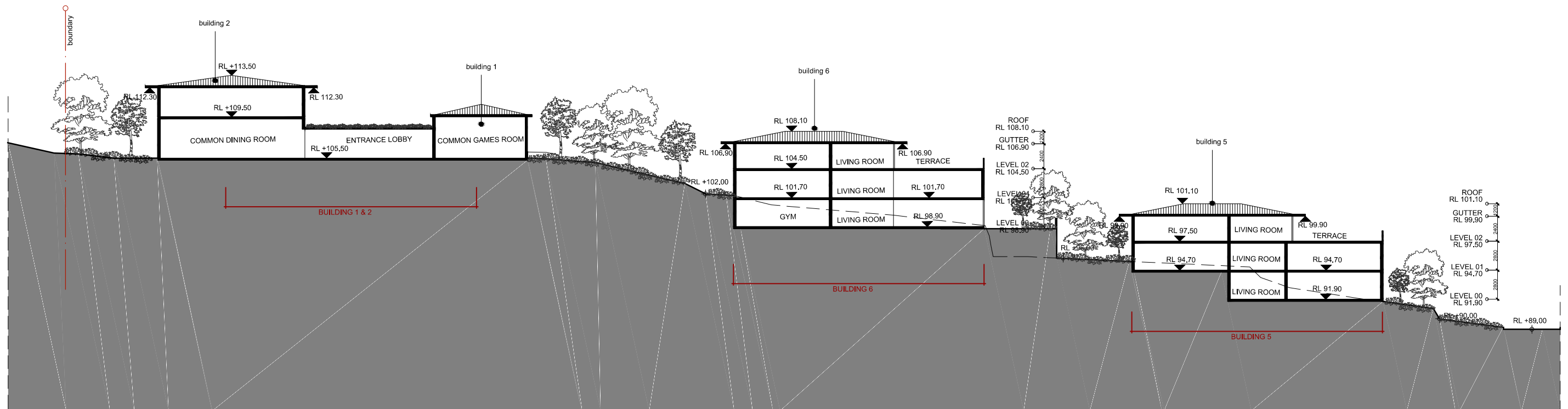
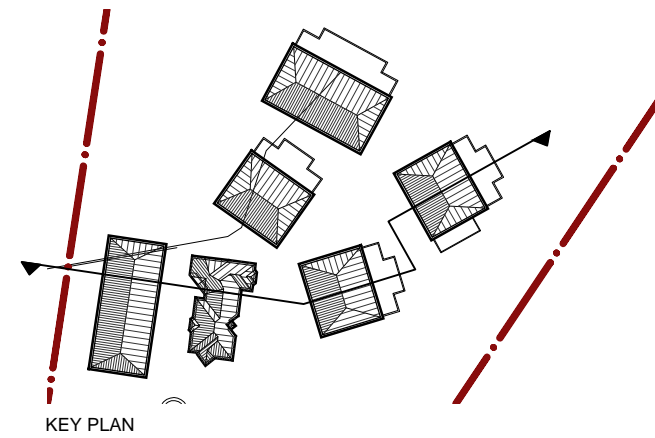


KEY PLAN



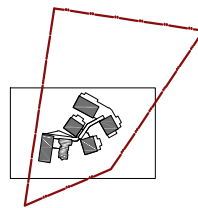
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	A	15.08.2014	DA Application Package	BO					SCALE 1:400 @ A3	DATE 20.06.2014	DRAWN BO	CHECKED PS
									JOB 14048	DRAWING DA 4.01	REVISION A	





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CLIENT
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DuKor 24 Pty Ltd

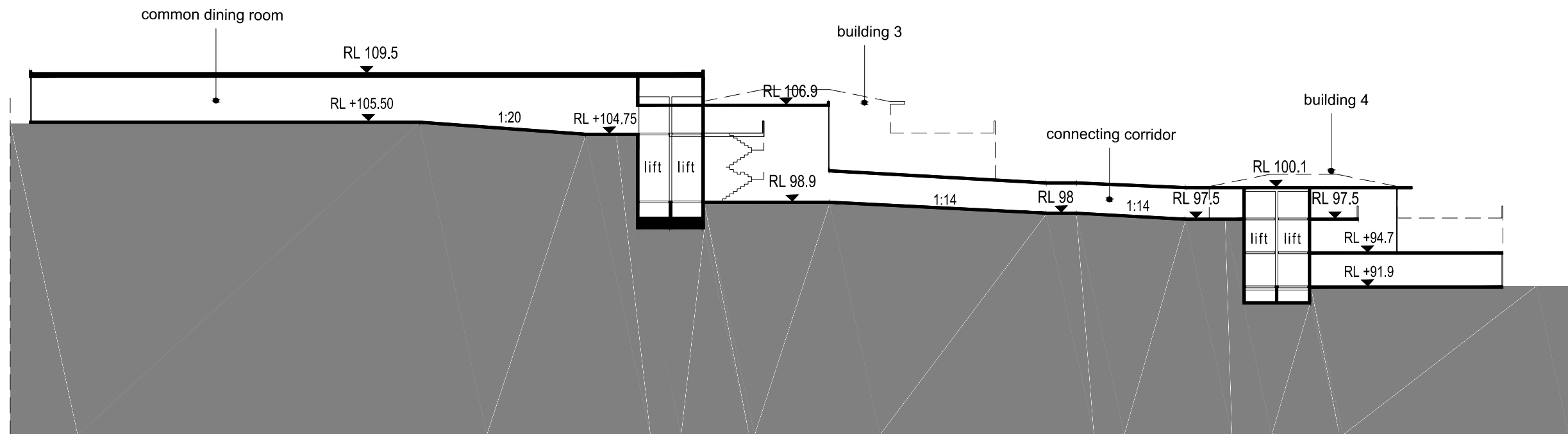
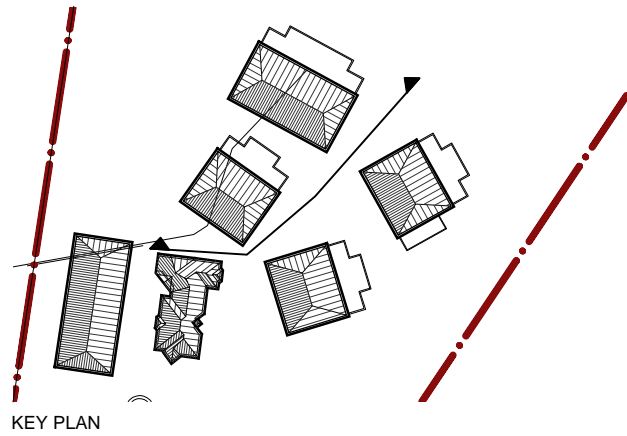
PROJECT  
Oxford Falls - Aged Care Facility  
Barnes Road  
Frenchs Forest

DRAWING TITLE
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SECTION 2

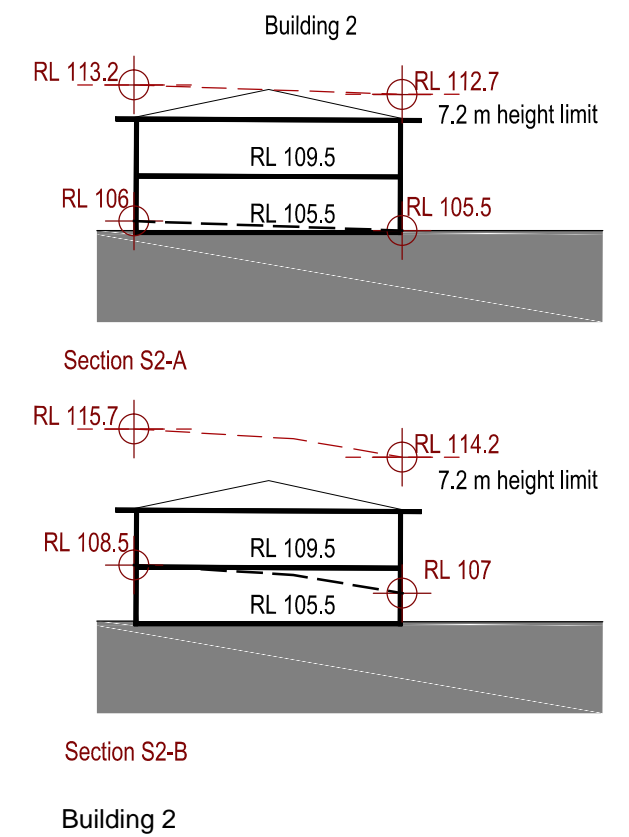
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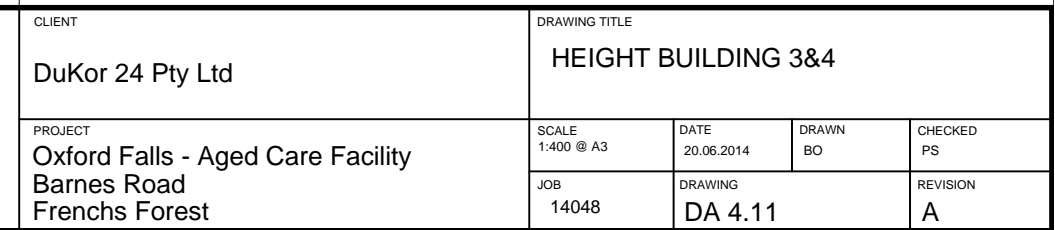
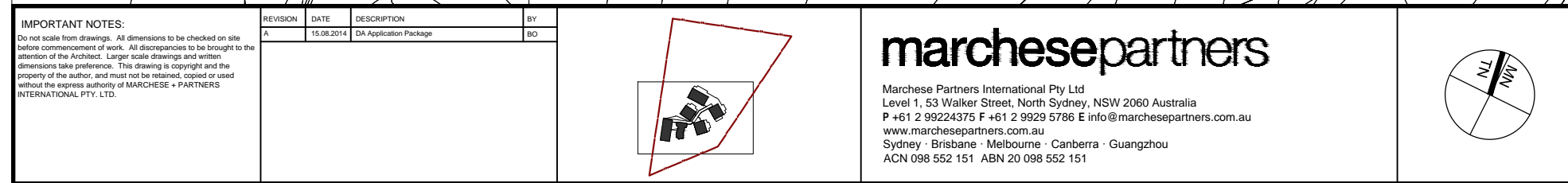
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	A	15.08.2014	DA Application Package	BO			DuKor 24 Pty Ltd		SECTION 3		
	PROJECT		SCALE	DATE			DRAWN	CHECKED			
Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest		1:400 @ A3	20.06.2014	BO	PS	JOB		DRAWING	REVISION		
		14048	DA 4.03					A			



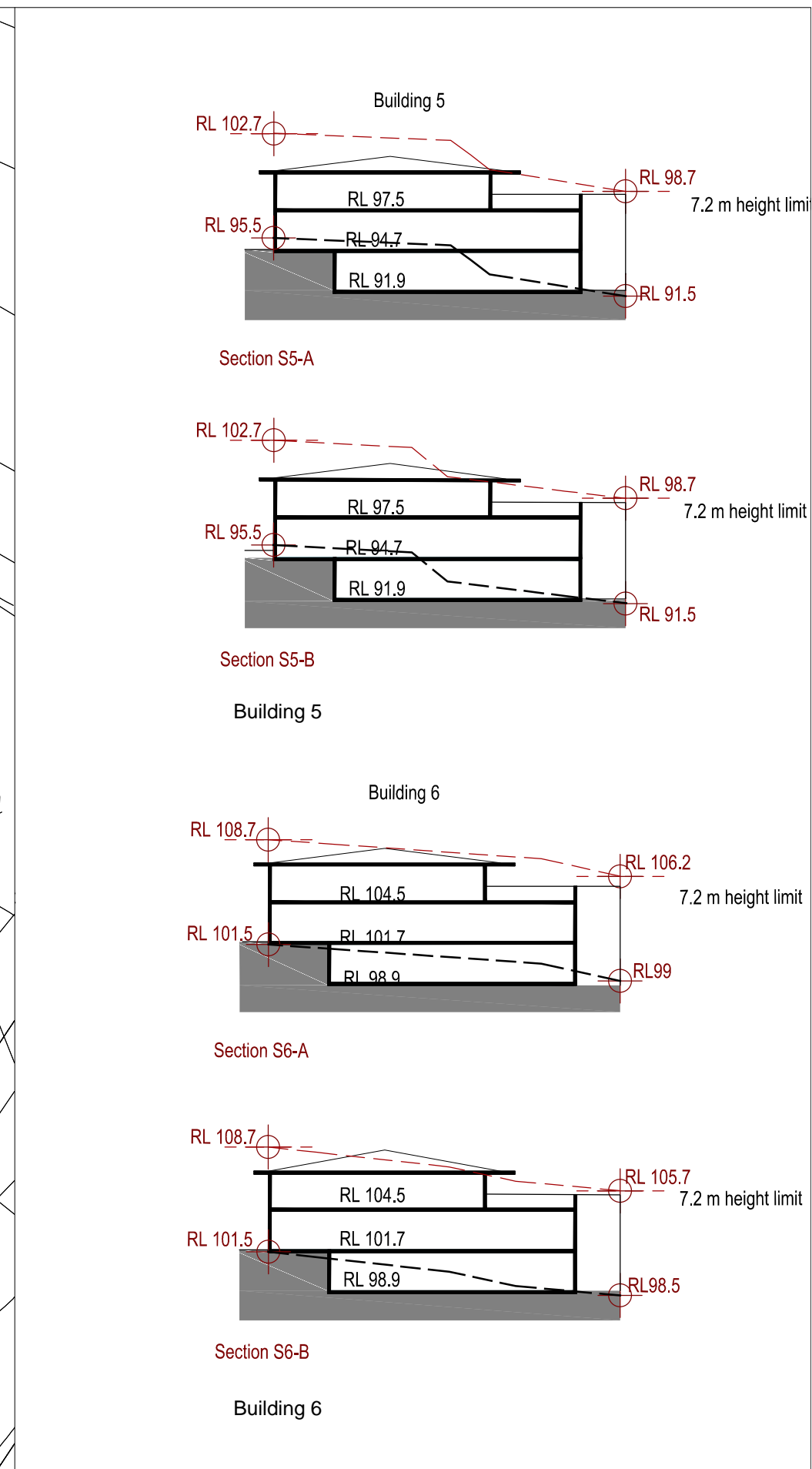


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JOB 14048	DRAWING DA 4.10		REVISION A









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	A	15.08.2014	DA Application Package	BO				DuKor 24 Pty Ltd		HEIGHT BUILDING 5&6			
								PROJECT	SCALE	DATE	DRAWN	CHECKED	
								Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest	1:400 @ A3	20.06.2014	BO	PS	
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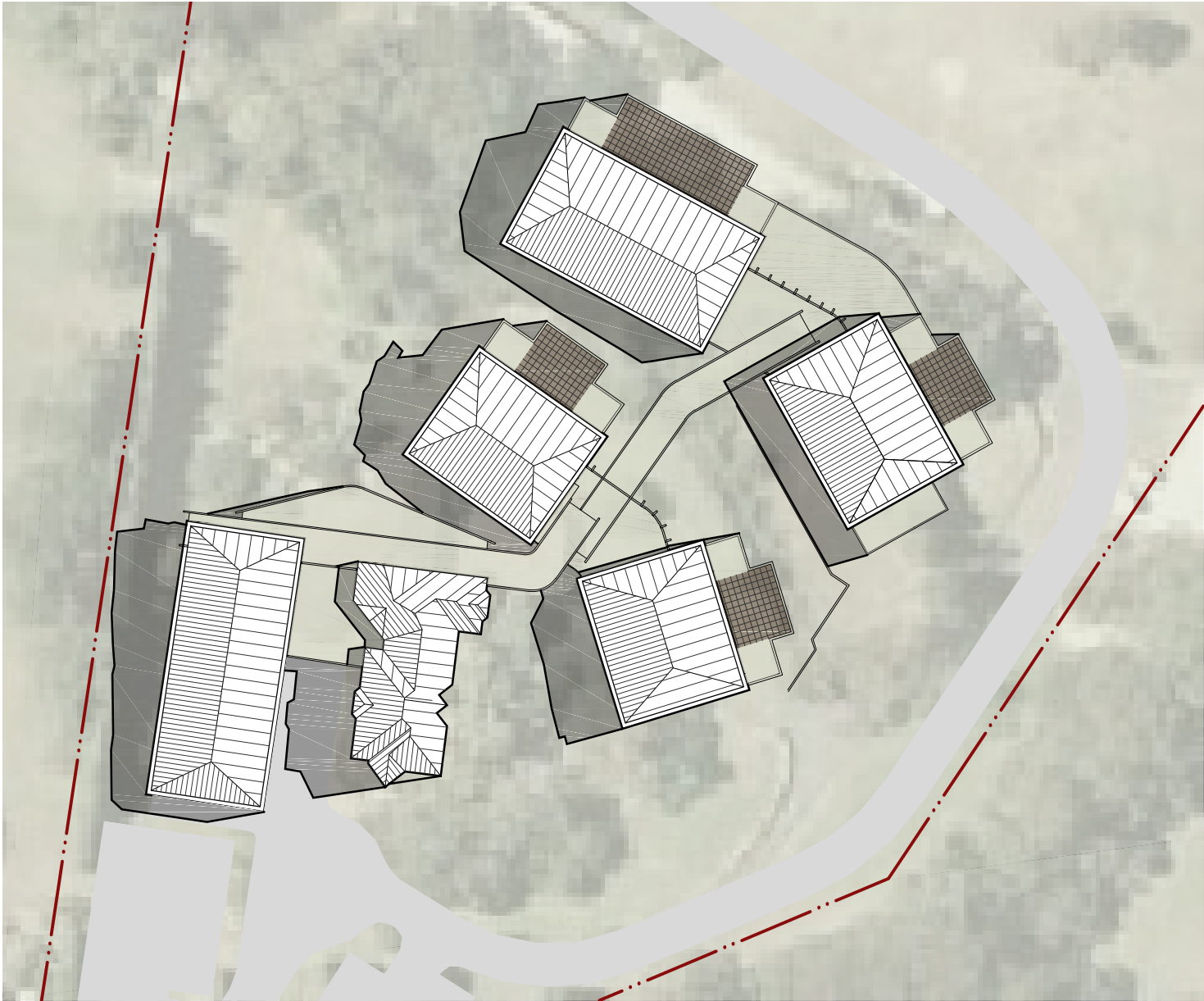
21 JUN 9.00AM



21 JUN 10.00AM

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	A	15.08.2014	DA Application Package	BO			SHADOW STUDY 21 JUNE 9-10 AM				
							PROJECT	SCALE	DATE	DRAWN	CHECKED
							Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest	JOB 14048	DRAWING DA 5.01	REVISION A	





21 JUN 11.00AM



21 JUN 12.00PM

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	A	15.08.2014	DA Application Package	BO				SHADOW STUDY 21 JUNE 11AM-12 PM				
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						Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest			20.06.2014	BO	PS	
						JOB		DRAWING		REVISION		
						14048		DA 5.02		A		





21 JUN 01.00PM



21 JUN 02.00PM

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	A	15.08.2014	DA Application Package	BO				SHADOW STUDY 21 JUNE 1-2 PM				
						PROJECT		SCALE	DATE	DRAWN	CHECKED	
						Oxford Falls - Aged Care Facility				BO	PS	
						Barnes Road		JOB	DRAWING		REVISION	
						Frenchs Forest		14048	DA 5.03		A	





21 JUN 03.00PM

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	A	15.08.2014	DA Application Package	BO				SCALE	DATE 20.06.2014	DRAWN BO	CHECKED PS
								JOB 14048	DRAWING DA 5.04	REVISION A	
PROJECT Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest											





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					DuKor 24 Pty Ltd				PHOTOMONTAGE 1			
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					Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest				1:500 @ A3	20.06.2014	BO	PS
									JOB	DRAWING		REVISION
									14048	DA 7.01		A





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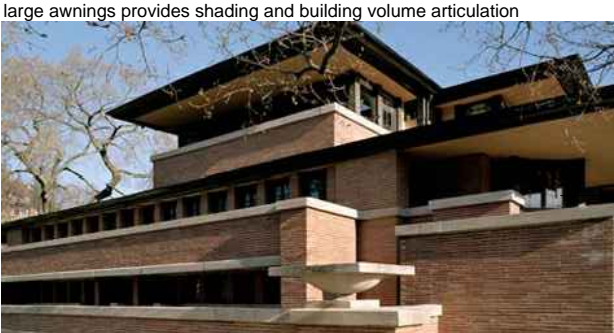
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		<div>CLIENT</div> <div>DuKor 24 Pty Ltd</div>			
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		PROJECT	DATE	DRAWN	CHECKED
		Oxford Falls - Aged Care Facility	20.06.2014	BO	PS
		Barnes Road			
		Frenchs Forest			
		JOB	DRAWING	REVISION	
		14048	DA 7.03	A	





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	A		15.06.2014	DA Application Package	BO						
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						DuKor 24 Pty Ltd		PHOTOMONTAGE 3			
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						Oxford Falls - Aged Care Facility Barnes Road Frenchs Forest		1:500 @ A3	20.06.2014	BO	PS
								JOB	DRAWING		REVISION
								14048	DA 7.04		A





large awnings provides shading and building volume articulation



pitched roofs and natural material create a pleasant human scale environment



composition of light colored, vertical wood and brick walls



building volumes integrated in the surrounding landscape

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	A	15.08.2014	DA Application Package	BO				DuKor 24 Pty Ltd		MATERIAL BOARD			
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		JOB 14048		DRAWING DA 7.05				REVISION A					